

20th April 2007

John Moreton
32 Hanna Street
Te Aroha

File No. 05312/096-00
Document No. 375988
vdp

Scanned



Dear Sir

Re: External cladding inspection – 32 Hanna Street, Te Aroha

1.00 SITE INSPECTION

- 1.01** The single storey dwelling constructed circa 1993 by Terry Gray Builders is situated on the southwest boundary of Te Aroha Township. The property is located off a Cul-de-sac street.

The property is of standard timber framed construction, founded on a concrete block ring foundation, with timber piles and timber sub-flooring. Clad in a combination of Monier brick and Hardies Hardiplank with aluminium joinery, timber fascia boarding, PVC down pipes/guttering and trough type roofing with Hardies sheeting to the eaves and soffits, (photos 1-3).

PROJECT MANAGERS
ARCHITECTS
ENGINEERS
BUILDING CONSULTANTS
REGISTERED IQP's



(1)



(2)



(3)

3RD FLOOR, FEDERATED
FARMERS BUILDING
169 LONDON STREET
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MATAMATA PIAKO DISTRICT COUNCIL

OFFICES: AUCKLAND,
HAMILTON, WELLINGTON,
PALMERSTON NORTH
CHRIST CHURCH,

1.02 Drives/Paths & Grounds

Access to the site is gained via a concrete drive and footpaths that lead to the front of the property and garage. The boundaries are defined by neighbouring fences of timber construction.

The grounds are attractively landscaped with shrubs.

There is a timber deck on the northeast elevation giving access to the lounge and front door, with a smaller deck on the south elevation giving access to the laundry.

An in-ground pool is located on the northeast elevation, which has been fully fenced. Access is via an out-ward opening gate that has a lockable latch, (photos 4-7).



(4)



(5)



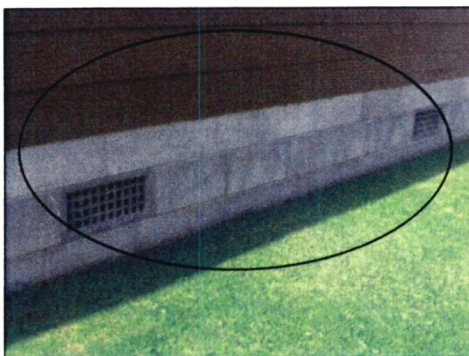
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(7)

1.03 Foundation - concrete block/timber

No obvious settlement or movement was observed to the concrete block ring foundation or timber sub-flooring. The sub-soil was dry at the time of the inspection. Air vents were evident in the concrete block ring foundation. The vents allow for air movement and aid in keeping the sub-soil dry, (photos 8-9).



(8)



(9)

1.04 Exterior Cladding

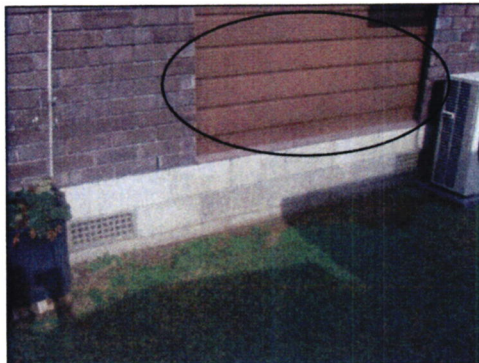
There are visible signs of movement on the exterior cladding that is consistent with settling of the dwelling. Gradual settling and movement usually occurs within the first 12-18 months of construction.

It is the writer's opinion that the settling is not detrimental to the dwelling.

The fast setting non-shrink mortar (general-purpose mortar) finish between the Monier bricks has been grouted and brushed off to manufacturer specifications. The fibre cement Hardiplank has an even coat of paint, giving maximum protection. Where the Hardiplank abuts the exterior joinery and brick a high performance multi-purpose modified silicone sealant, that is prime less and paintable has been used. Sealants are only a stop gap measure and need to be inspected regularly, (photos 10-11).



(10)



(11)

1.05 Joinery

The aluminium windows and doors were tried operated freely. There are condensation channels on all aluminium windows. These require regular cleaning to allow the condensation/water to disperse freely.

The window and door flashings appear to have been installed to manufacture specifications.

There are aluminium head flashings around the window and door joinery. Regular checks of the rubber seals around the glass is recommended, due to the sun's UV rays breaking down the rubber, (photos 12-13).



(12)



(13)

1.06 Roofing/Guttering

The trough type roof and penetrations appeared well fixed. Regular maintenance and visual inspections of the roof, guttering and down pipes are required to maintain the building envelope.

Minor remedial work has been undertaken to the roof, where red rust has appeared. An anti-rust primer has been applied to the affected areas. It is the writer's opinion that the red rust is not detrimental to the roofing.

Building paper and netting have been applied to the underside of the roofing, (photos 14-16).



(14)



(15)



(16)

2.00 Summary

2.01 The property visually appears structurally sound and was well presented and in a neat and tidy condition.

With the use of a Protimeter Survey Master (moisture meter) in audio mode low readings were indicated in and around doors and windows where tested. The meter in the search mode displays one of twenty coloured lights to indicate a relative moisture level in most building materials.

Green – Air Dry conditions	Decay unlikely 6-16%
Yellow – Slightly in excess of normal	Investigate further 17-21%
Red – Excessive moisture	Decay inevitable 22-100%

Lights all indicated green, however it must be noted that moisture metres only give a rough indication.

2.02 With the publicity with the weather-tight homes, B.R.A.N.Z (Building Research Association of N.Z.) in association with manufacturers and with a recent publication from the Department of Building and Housing have put into place better practices and solutions to overcome the recognized high risks which are:

High Risks:

1. The use of parapets
2. Narrow roof overhangs (soffit or eaves)
3. Complex rooflines and junctions.
4. Complex wall to roof junctions.
5. Tall structures in high risk zones.
6. Balconies or decks which are exposed in plan.
7. No wall cavities behind the cladding to drain away moisture and allow air flow.
8. Untreated framing timber with low resistance to decay when it gets wet. Ground levels too high in relation to the floors.
9. Surface water ponding against or under the house.

In the above dwelling it could be said the house has nil risk features as in items above. Providing the dwelling is maintained in the best condition it will have a good serviceable life.

2.03 Maintenance Definition

Regular maintenance is required to meet the stated durability in the New Zealand Building Code. Maintenance also has an effect on system performance, therefore it must be shown that regular maintenance has been carried out for product warranties to be upheld.

- A regular check every 12 months to confirm there is no deterioration of any component.
- Wash down of the painted surfaces every 12 months.
- Recoating of painted surfaces every 5-10 years depending on exposure.
- Routine maintenance of the various jointing and coating systems is essential to ensure water ingress is prevented over the life of the building.

While this report is based on a visual inspection it offers no warranty, guarantee or Producer's statement and relates only to those areas that could be reasonably accessed. It is the writer's opinion that the dwelling in it's present state would comply with the relevant New Zealand Documents for *B2 Durability* and *E2 External Moisture* identified at the time of construction.

It must be noted we have not inspected woodwork or other parts of the structure which are covered, unexposed or in accessible and we are therefore unable to report that any such part of the structure is free from defect.

If you require further information please contact the writer.

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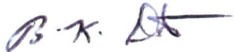
EXCLUSIONS:

This report does not include comment about the following:

- a. The design of the house.
- b. The surrounding neighbourhood
- c. The value of the property

No search has been made of:

- a. Local authority rates
- b. Government Valuation
- c. Local Authority files



B K (Barry) Durston
JOYCE GROUP LIMITED

Pre Purchase Report

32 Hanna Street



Te Aroha

.....
PROJECT MANAGERS
ARCHITECTS
ENGINEERS
BUILDING CONSULTANTS
REGISTERED IQP's

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April 2007
H4324

OFFICES: AUCKLAND,
HAMILTON, WELLINGTON,
PALMERSTON NORTH
CHRIST CHURCH,

1.00 INTRODUCTION

- 1.01** Party requesting report: **Mike & Cathy Stevenson**
- 1.02** Site: **32 Hanna Street, Te Aroha**
- 1.03** Date of inspection: **18th April 2007**
- 1.04** Weather: **Fine**
- 1.05** Joyce Group Ltd representative: **B K (Barry) Durston**
- 1.06** Other persons present: **Owner (J.Moreton)**

2.00 BRIEF

As requested an inspection was carried out at the above property for the purpose of preparing a pre purchase report.

3.00 DISCLAIMER

This inspection report is based on a visual inspection only.

The writer has not inspected woodwork or other parts of the structure which are covered, unexposed or in accessible and we are therefore unable to report that any such part of the structure is free from defect.

This report relates only to those areas that could be reasonably accessed. The report does not cover hidden piping, beams, bracing, bracing or support elements, or any item, that would require physical removal of material.

Signs of water ingress were looked for however this report cannot give any waterproofing guarantee, as it is not readily possible or required to create simulated conditions to induce water ingress.

No electrical test was carried out as part of this inspection.

Comments describing electrical systems are included for guidance only and cannot be considered to confirm the electrical wiring installations are installed in accordance with the Electricity Regulations 1993 or 1997, or Electrical Wiring Regulations 1961 or 1976.

Maintenance items are not part of the inspection nor is the report a compliance inspection certification for past and present building code requirements or regulations.

Excluded from the report are plumbing regulations, if applicable.

The report does not purport to certify the soil stability or condition of underground services including waterproof coatings not visible.

The report assumes compliance in all respects with territorial authority ordinances, Building Act 1991 and does not certify that all buildings and improvements fit within title boundaries.

Note: Council visit file was not requested for this inspection.

4.00 SITE INSPECTION

- 4.01** The single storey dwelling constructed circa 1993 by Terry Gray Builders is situated on the southwest boundary of Te Aroha Township. The property is located off a Cul-de-sac street.

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4.02 Drives/Paths & Grounds

Access to the site is gained via a concrete drive and footpaths that lead to the front of the property and garage. The boundaries are defined by neighbouring fences of timber construction.

The grounds are attractively landscaped with shrubs.

There is a timber deck on the northeast elevation giving access to the lounge and front door, with a smaller deck on the south elevation giving access to the laundry.

An in-ground pool is located on the northeast elevation, which has been fully fenced. Access is via an inward opening gate that has a lockable latch.



4.03 Foundation - concrete block/timber

No obvious settlement or movement was observed to the concrete block ring foundation or timber sub-flooring. The sub-soil was dry at the time of the inspection. Air vents were evident in the concrete block ring foundation. The vents allow for air movement and aid in keeping the sub-soil dry.



4.04 Exterior Cladding

There are visible signs of movement on the exterior cladding that is consistent with settling of the dwelling. Gradual settling and movement usually occurs within the first 12-18 months of construction. It is the writer's opinion that the settling is not detrimental to the dwelling.



4.05 Joinery

The aluminium windows and doors were tried and operated freely. There are condensation channels on all aluminium windows. These require regular cleaning to allow the condensation/water to disperse freely.

The window and door flashings appear to have been installed to manufacturer specifications.



4.06 Roofing/Guttering

The trough type roof and penetrations appeared well fixed. Regular maintenance and visual inspections of the roof, guttering and down pipes are required to maintain the building envelope.

**4.07 Out buildings**

2x galvanised garden sheds, located on the northwest boundary of the property. Approximately 3.0 x 1.5mts and 1.5 x 1.5mts respectively.

One currently used as an implement storage shed and the other houses the swimming pool pump etc. It is recommended that a secure lock be attached to the pump shed door (if used for chemical storage).

**5.00 SERVICES**

Local Authority sewerage/water/stormwater
Underground power/telephone
Heating - 3x Mitsubishi air conditioning units, log fire.

6.00 INTERIOR**6.01 Separate lounge**

Ceiling - gib board painted

Walls - gib board wall paper

Carpet

Combination of drapes and drop blinds

"Grillie" log fire with a tiled hearth. It is recommended that a LIM report be obtained from the Local Authority to ascertain if the log fire has a permit.

Wall mounted "Mitsubishi" air con unit

Double sliding aluminium doors off to timber deck, with .600mm tiling to interior floor.

**6.02 Separate dining room**

Ceiling - gib board painted

Walls - gib board wall paper

Carpet

Drop blinds

1x bay window on west wall.



6.03 Kitchen

Ceiling - gib board painted

Walls - gib board wall paper

Vinyl flooring

Formica bench tops with double stainless steel sink, incorporating a drip tray. No waste disposal.

"F&P" dishwasher - operational at time of inspection

Rangehood - extracted through roof, operational

"Simpson" electric oven and electric bench top mounted hobs

Slat blinds

Bay window on south wall.



6.04 Separate laundry

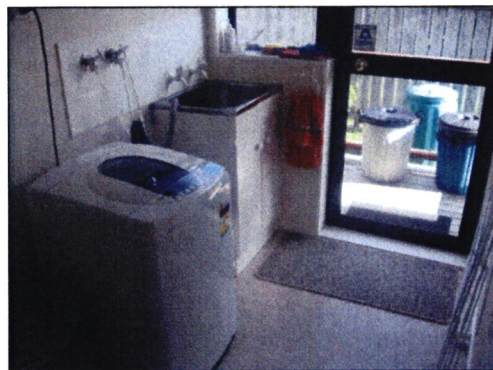
"Burns & Ferrall" stainless steel tub in timber cabinetry

Vinyl flooring

Ceiling - gib board painting

Walls - gib board wall paper

Single aluminium door off to timber deck on south elevation.



6.05 Separate bathroom

Ceiling - gib board painted

Walls - gib board wall paper

Vinyl flooring

Bath - with tiling up wall to .800mm

"Goldair" heated towel rail

"Showermaster" shower box - with wet wall lining up wall to 1.8mts, bi-fold door for access.

"Aakronite" vanity unit

No extractor fan.



6.06 Separate toilet

Ceiling - gib board painted

Walls - gib board wall paper

Flooring, combination of carpet and vinyl

"Caroma" dual flush toilet

"Aqualine" hand basin, wall mounted

Due to the location of the toilet (in direct view of the front door) an automatic closer has been installed on the access door.



6.07 Bedroom one

Ceiling - gib board painted
Walls - gib board wall paper
Carpet
Single wardrobe, with shelving
Drapes.



6.08 Bedroom - two

Ceiling - gib board painted
Walls - gib board wall paper
Carpet
Drapes
Single wardrobe with shelving
Wall mounted "Mitsubishi" air con unit.



6.09 Master bedroom (3) with ensuite and walk-in wardrobe

Ceiling - gib board painted, partially raking

Walls - gib board wall paper

Carpet

Combination of drapes and net curtains

Wall mounted "Mitsubishi" air con unit.

Walk-in wardrobe

Ceiling - gib board painted

Walls - gib board wall paper

Carpet

Ample shelving.

Ensuite

Ceiling - gib board painted, partially raking

Walls - gib board wall paper

Vinyl flooring

"Goldair" heated towel rail

"Englefield" shower box - with wet wall lining up to 1.8 meters on walls, glass pivoting door for access.

"Aakronite" vanity unit with tiling up wall to .200mm

"Triumph" combination light/fan and heater - extracted to exterior

"Caroma" dual flush toilet.



6.10 Hallway

Ceiling - gib board painted

Walls - gib board wall paper

Carpet

2x single storage cupboards with shelving.



6.11 Entrance foyer

Ceiling - gib board painted

Walls - gib board wall paper

Flooring - combination of carpet and tile

Security mesh screen door.



6.12 Double Garage - internal access

Walls - gib board to east wall only

Ceiling - exposed timber trusses

Flooring - exposed concrete foundation

Single aluminium door off to access concrete patio on south elevation

"AHI" automatic door opener (operational at the time of inspection). Tilt-a-type door.

Visible power and light outlets

Internal access to dwelling.

**6.13 Insulation**

Ceiling - loose fitted, blown in type

Walls - unable to gain access.

**7.00 Maintenance**

A regular check every 12 months to confirm there is no deterioration of any component.

- Wash down of the painted surfaces every 12 months.
- Recoating of painted surfaces every 7-10 years depending on exposure.
- Routine maintenance of the various jointing and coating systems is essential to ensure water ingress is prevented over the life of the building.

8.00 Summary

With the use of a Protimeter Survey Master (moisture meter) in audio mode low readings were indicated in and around doors and windows where tested. The meter in the search mode displays one of twenty coloured lights to indicate a relative moisture level in most building materials.

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Yellow – Slightly in excess of normal	Investigate further
Red – Excessive moisture	Decay inevitable

Lights all indicated green.

The property visually appears structurally sound and was well presented and in a neat and tidy condition.

If you require further information please contact the writer.

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